

HB Qld - EPBC 2019/8516

Independent Audit Report

February 2026

Prepared for HB Qld Pty Limited



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 **BAAM**
ECOLOGICAL CONSULTANTS

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File Number: 0655-001
Client: HB Queensland Pty Limited
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Project Author/s: Adrian Caneris
Project Summary: Independent Audit of EPBC approval conditions compliance for EPBC 2019/8516

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0655-001 (v.0)	10/02/2026	A Caneris	A Caneris	

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HB Qld

EPBC 2016/7817

Independent Audit 2026

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Terms and Abbreviations

approval holder	HB Queensland Pty Limited
Audit	Independent audit of compliance with the conditions of the EPBC 2016/7817 approval
BAAM	Biodiversity Assessment and Management Pty Ltd
Department	Department Climate Change, Energy, the Environment and Water
DCCEEW	Department Climate Change, Energy, the Environment and Water
EPBC Act	Commonwealth <i>Environment Protection and Biodiversity Conservation Act 1999</i>
ha	hectares
HB Qld	HB Queensland Pty Limited
MNES	Matters of National Environmental Significance
NESS	Natural Environment Site Strategy
OAMP	QTFN - Offset Area Management Plan 2020
RE	Regional Ecosystem
SHG	Saunders Havill Group
SRI	Significant Residual Impact

1.0 Introduction

This audit has been undertaken and guided by the Commonwealth *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) Decision Notice (EPBC 2019/8516) and the applicable approval conditions 14 -15. These conditions state that the approval holder must ensure independent audits of compliance with the conditions are conducted every three (3) years following the date of the approval and subsequently as requested in the writing by the Minister.

For each independent audit, the approval holder must

- A. provide the name and qualifications of the independent auditor and the draft audit criteria to the department;
- B. only commence the independent audit once the audit criteria have been approved in writing by the department (**Appendix 1**); and
- C. submit an audit report to the Department within the timeframe specified in the approved audit criteria.

The approval holder must publish the audit report on the website within 10 business days of receiving the department's approval of the audit report and keep the audit published on the website until the end date of this approval.

The Audit Scope and Audit Criteria must cover project activities and requirements of the conditions of approval to the end of the audit period. This report documents the process and findings of the independent audit.

EPBC Approval 20169/8516 is held by HB Qld Pty Limited (HB Qld) and authorises the residential Development, Collingwood Park, Queensland, subject to 18 conditions of approval. **Figure 1** shows the approved Impact Area.

Habitat Exchange Solutions Pty Ltd has been engaged by HB Qld to provide and manage the required environmental offset to compensate for the loss of 24.89ha of habitat critical to the survival of the Koala and Grey-headed Flying-fox in accordance with the EPBC Act *Environmental Offsets Policy* (2012). The offset areas will permanently secure 34.7 within at the Scenic Ridge Offset Site, located east of Boonah in the Scenic Rim Regional Council. **Figure 2** shows the Offset.

The EPBC Act Approval Condition 1 requires the approval holder:

- a) must not **clear** more than 24.89 hectares of **Koala habitat** and **Grey-headed Flying-fox foraging habitat** within the **development area**;
- b) must retain the 2.21 hectares **Koala habitat** and **Grey-headed Flying-fox foraging habitat** in **Goodna Creek riparian buffer**; and
- c) must not **clear** outside of the **development area**.

The Annual Compliance Report (ACR) 2025 identifies that the extent of works has been kept within the demarcated limits, which have been established and regularly inspected by the Saunders Havill Group (SHG) during the construction stage. Works are now completed on the impact site.

It is noted that no vegetation clearing works were undertaken within the audit period as all clearing works for active stages were undertaken prior to the audit period, though the audit did confirm the prior vegetation clearing had not exceeded the approved area.

There has been a change in the proposed development. The area identified as stage 2 was resumed by the State of Queensland for the provision of a school. This action did not change the approved footprint. The main change is the removal of residences and roadways adjacent to the Goodna Creek Corridor.

Audit Team

The Lead Auditor and author of this report is BAAM Principal Wildlife Specialist Adrian Caneris, who is a certified environmental practitioner (CEnvP -EIANZ) with Ecology Specialist accreditation. Jedd Appleton, BAAM's Project Delivery Manager, who is also a CEnvP, undertook the quality assurance review.

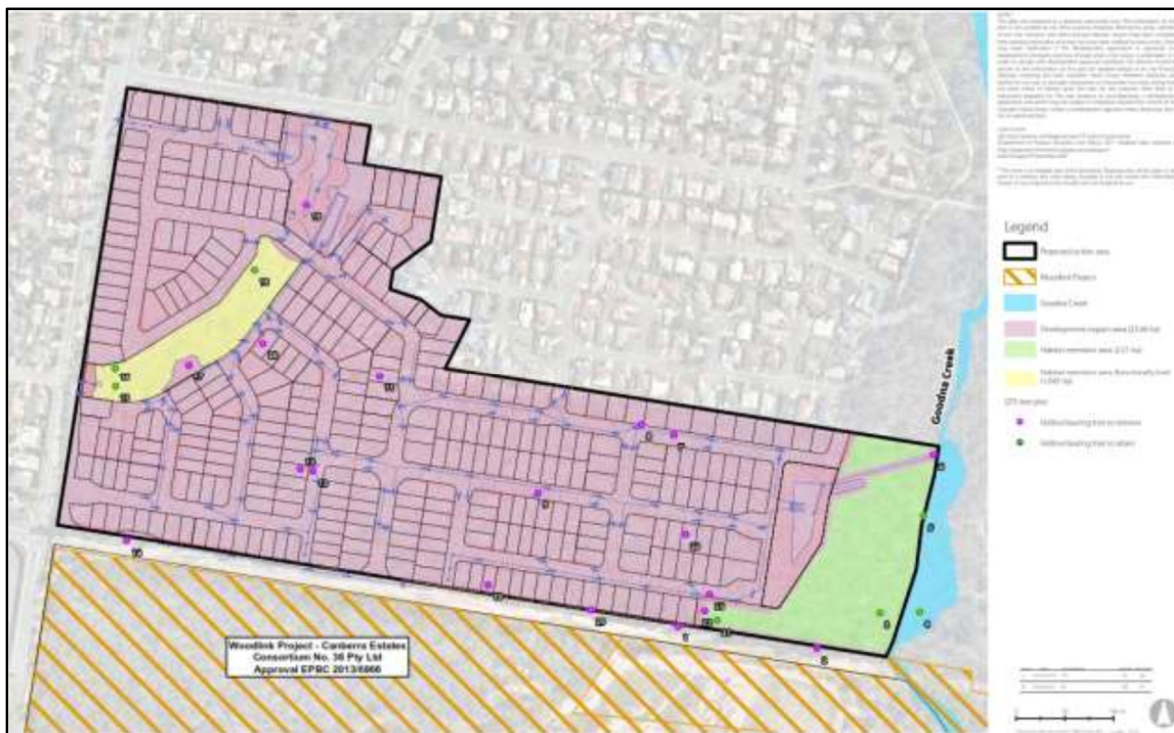


Figure 1: The HB Qld Project Impact Area – Approved Plan



Figure 2: The HB Qld Project Scenic Rim Offset Area

1.1 Details of the Audit

Table 1 provides the details of the subject development and Audit.

Table1: Key Audit Details

Audit Item	Details
Project Name	Residential Development, Collingwood Park, Ipswich, QLD
EPBC NO.	EPBC 2019/8516, approved under the <i>Environment Protection and Biodiversity Conservation Act 1999</i> (EPBC Act) on 6 September 2021.
Approval Holder	HB Queensland Pty Limited
Audit Details	Condition 14 of the approval states - <i>The approval holder must ensure that independent audits of compliance with the conditions are conducted for the three-year period from the date of this approval and subsequently as requested in writing by the Minister.</i> On 6 November 2025, Saunders Havill on behalf of HB Qld submitted details of the proposed independent auditor, audit criteria and methodology for the independent audit of the Residential development, Collingwood Park (EPBC 2019/8516). Draft Audit Criteria and Methodology was approved by Thomas Long, Director Environmental Audit, Compliance and Enforcement Branch on 19 November 2025.
Key Dates, Locations and Audit Methods	Project meetings to obtain understanding of the project and relevant information were undertaken with HB Queensland Ptd Limited and their ecological consultants Saunders Havill Group (SHG), prior to undertaking field investigations. The Impact and offset sites were inspected on 03/02/2026.
Documented Evidence Reviewed	• EPBC Approval and Conditions - Residential development, Collingwood Park, Ipswich QLD - EPBC 2019/8516 • Review of conditions 14-16 to conduct an Independent Audit. • DCCEEW Draft Audit Criteria Approval (DCCEEW 19/11/2025) • Scenic Ridge Offset Management Plan dated 15/03/2022. • Annual Compliance Reports (ACR) – 1-4 https://hbland.com.au/project/the-pocket/ • GIS files and georeferenced Mapping of Impact and Offset area locations. • Queensland Globe Aerial Imagery.

1.2 Compliance status descriptors

The following compliance status descriptors have been used to evaluate compliance against approval conditions:

- **Compliance** – A rating of ‘compliance’ is given when the auditee has complied with a condition or element of a condition.
- **Non-compliance** – A rating of ‘non-compliance’ is given when the auditee has not met a condition or an element of a condition.
- **Not Applicable** - A rating of ‘not applicable’ at the time of the audit is given when the condition or element of a condition falls outside the scope of the audit e.g. if an activity has not yet commenced or a requirement has not been triggered.

- **Observation** – An ‘observation’ may be made about issues relevant to the protection of a matter of national environmental significance when the issue is not strictly related to compliance or noncompliance with a condition or element of a condition.

2.0 Compliance Findings

Table 2 summarises the Audit compliance findings. **Table 3** provides the full details of the audit and its findings.

Table 2: Summary of Audit Compliance Findings

Condition number and details	Compliance findings
EPBC Approval Condition [No.1] The approval holder: a) must not clear more than 24.89 hectares of Koala habitat and Grey-headed Flying-fox foraging habitat within the development area; b) must retain the 2.21 hectares Koala habitat and Grey-headed Flying-fox foraging habitat in Goodna Creek riparian buffer; and c) must not clear outside of the development area.	COMPLIANT
EPBC Approval Condition [No.2] To minimise the risk of injury or death to Koalas and Grey-headed Flying-fox within the development area during clearing and construction, the approval holder must: a) ensure that a qualified fauna spotter catcher is present during all clearing and is given sufficient authority to guide all clearance to ensure that Koalas and Grey-headed Flying-foxes have safely moved out of the development area identified for clearing, of their own volition, before Koala habitat and Grey-headed Flying-fox foraging habitat is cleared; and b) install temporary Koala exclusion fencing around all construction works. Temporary Koala exclusion fencing must be installed immediately after any clearing and prior to the commencement of any construction so as to prevent any Koala entering during construction. Temporary Koala exclusion fencing must remain in place around any construction area until all construction activities within the fenced area are completed.	COMPLIANT
EPBC Approval Condition [No.3] For the ongoing protection of the Koala population at the development area, the approval holder must install and maintain for the duration of the approval, fauna movement solutions on all roads that run adjacent to Goodna Creek riparian buffer, including Koala awareness signage, speed management measures and fauna friendly crossings. The approval holder must ensure a maximum speed limit of no greater than 40 km / hour is enforced during the construction phase in the development area at all times until a government entity assumes control of all roads in the development area.	COMPLIANT OBSERVATION The change in use of stage 2, from urban residential to a school, has resulted in the removal of all roadways adjacent to the Goodna Creek Corridor.
EPBC Approval Condition [No.4] To compensate for the clearing of 24.89 hectares of Koala habitat and Grey-headed Flying-fox foraging habitat, the approval holder must: a) Legally secure at least 34.7 ha of land at the Scenic Ridge Offset Management Zone 1 area prior to the commencement of the action; and b) within 20 business days of legally securing the Scenic Ridge Offset Management Zone 1 area, provide the Department with written evidence demonstrating that the Scenic Ridge Offset Management Zone 1 area has	COMPLIANT

Condition number and details	Compliance findings
been legally secured (e.g. legal security documentation), including shapefiles and the offset attributes .	
EPBC Approval Condition [No.5] The approval holder must, within one month of this approval decision, submit an Offset Management Plan for Scenic Ridge Offset Management Zone 1 for approval by the Minister. The approval holder must not commence works within the Phase 2 Area until the Offset Management Plan for Scenic Ridge Offset Management Zone 1 has been approved by the Minister in writing. The approval holder must implement the Offset Management Plan approved by the Minister for Scenic Ridge Offset Management Zone 1.	COMPLIANT
EPBC Approval Condition [No.6] The Offset Management Plan for Scenic Ridge Offset Management Zone 1 must be consistent with the Department's Environmental Management Plan Guidelines, and must include the following: a) A summary of the residual impacts to Koala habitat and Grey-headed Flying-fox foraging habitat that will be compensated for by the offset. This summary must include the area(s) of habitat for protected matters and its condition and quality at all impact sites which the offset is to address. b) Detailed survey methodologies for determining baselines on the proposed offset for feral animal abundance and extent of weed cover, modified habitat quality assessment for Koala, and a Grey-headed Flying-fox habitat assessment; and detailed methodologies for specifying baseline levels based on the survey data. c) The environmental objectives, relevant to Koala and Grey-headed Flying-fox, and a reference to the EPBC Act approval conditions and other applicable conditions of approval (including State approval conditions), if any, to which the Offset Management Plan refers. d) A table of commitments made in the Offset Management Plan to achieve the environmental objectives, and a reference to where the commitments are detailed in the Offset Management Plan. e) Reporting and review mechanisms, and documentation standards to demonstrate compliance with management and environmental commitments in the Offset Management Plan. f) An assessment of risks to achieving environmental objectives and risk management strategies that will be applied. g) Impact avoidance, mitigation and/or repair measures, and their timing. h) A monitoring program, which must include: i. measurable performance indicators to monitor attainment of the offset completion criteria; ii. trigger values for corrective actions; and iii. the timing and frequency of monitoring to detect trigger values and changes in the performance indicators. i) Proposed corrective actions, if trigger values are reached or performance indicators not attained.	COMPLIANT
EPBC Approval Condition [No.7]	COMPLIANT

Condition number and details	Compliance findings
The approval holder must notify the Department in writing of the date of commencement of the action within 10 business days after the date of commencement of the action .	
EPBC Approval Condition [No.8] If the commencement of stage 1 or stage 2 does not occur within five (5) years from the date of this approval, then the approval holder must not commence the action without the prior written agreement of the Minister .	COMPLIANT
EPBC Approval Condition [No.9] The approval holder must maintain accurate and complete compliance records .	COMPLIANT
EPBC Approval Condition [No.10] If the Department makes a request in writing, the approval holder must provide electronic copies of compliance records to the Department within the timeframe specified in the request.	NOT APPLICABLE
EPBC Approval Condition [No.11] The approval holder must prepare a compliance report for each 12-month period following the date of commencement of the action , or otherwise in accordance with an annual date that has been agreed to in writing by the Minister . The approval holder must: a. publishes each compliance report on the website within 60 business days following the relevant 12-month period; b. notify the Department by email that a compliance report has been published on the website and provide the weblink for the compliance report within 5 business days of the date of publication; c. keeps all compliance reports publicly available on the website until this approval expires; d. excludes or redact sensitive ecological data from compliance reports published on the website ; and e. where any sensitive ecological data has been excluded from the version published, submit the full compliance report to the Department within 5 business days of publication..	COMPLIANT
EPBC Approval Condition [No.12] The approval holder must notify the Department in writing of any incident , non-compliance with the conditions, or non-compliance with the commitments made in plans . The notification must be given as soon as practicable, and no later than 2 business days after becoming aware of the incident or non-compliance. The notification must specify: a. any condition which is or may be in breach. b. a short description of the incident and/or non-compliance; and c. the location (including co-ordinates), date, and time of the incident and/or non-compliance. In the event the exact information cannot be provided, provide the best information available.	COMPLIANT
EPBC Approval Condition [No.13] The approval holder must provide to the Department the details of any incident or noncompliance with the conditions or commitments made in plans as soon as practicable and no later than 10 business days after becoming aware of the incident or non-compliance, specifying:	COMPLIANT

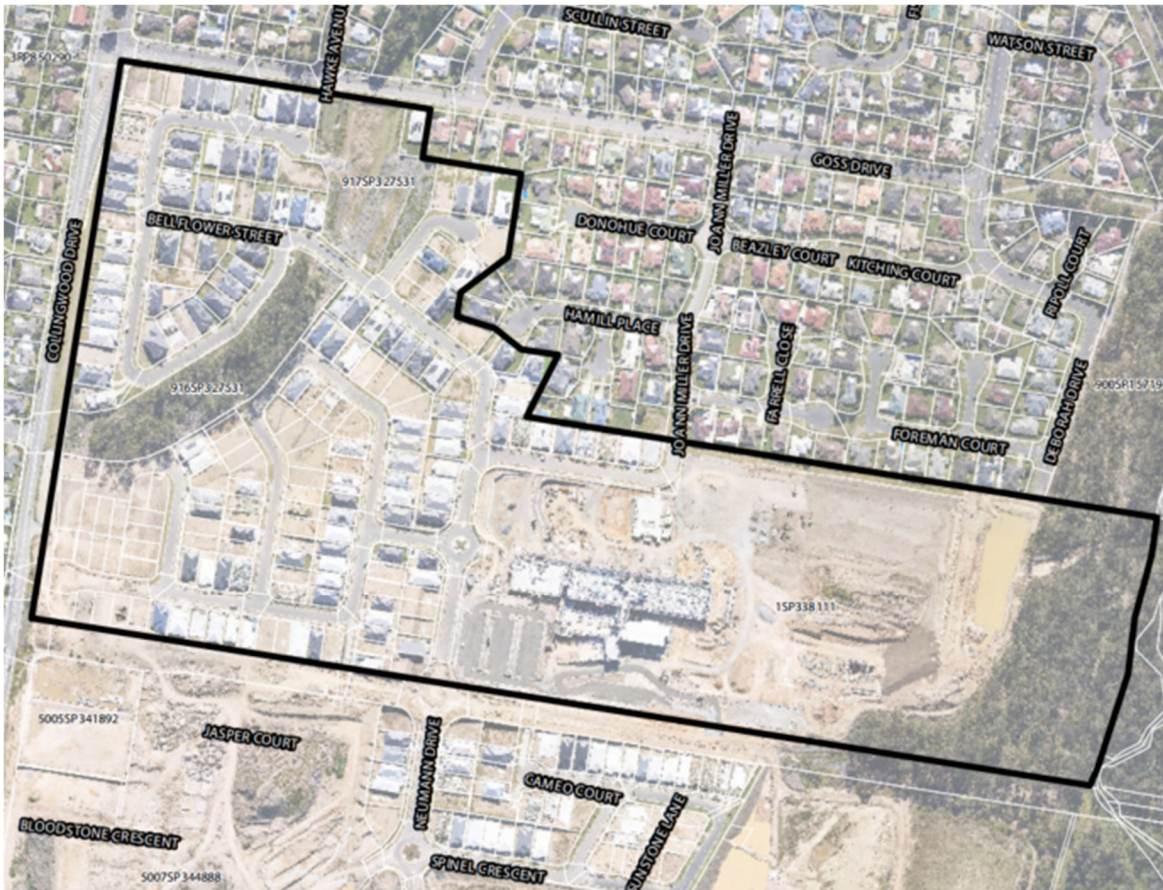
Condition number and details	Compliance findings
a. any corrective action or investigation which the approval holder has already taken or intends to take in the immediate future. b. the potential impacts of the incident or non-compliance; and c. the method and timing of any remedial action that will be undertaken by the approval holder.	
EPBC Approval Condition [No.14] The approval holder must ensure that independent audits of compliance with the conditions are conducted for the three-year period from the date of this approval and subsequently as requested in writing by the Minister.	COMPLIANT
EPBC Approval Condition [No.15] For each independent audit, the approval holder must: a. provide the name and qualifications of the independent auditor and the draft audit criteria to the Department; b. only commence the independent audit once the independent auditor and the audit criteria have been approved in writing by the Department; and c. submit an audit report to the Department within the timeframe specified in the approved audit criteria.	COMPLIANT
EPBC Approval Condition [No.16] The approval holder must publish the audit report on the website within 10 business days of receiving the Department's approval of the audit report and keep the audit report published on the website until the end date of this approval.	NOT APPLICABLE
EPBC Approval Condition [No.17] The approval holder must: a. submit plans electronically to the Department; b. unless otherwise agreed to in writing by the Minister, publish each plan on the website within 20 business days of the date that the plan was approved by the Minister in writing; c. exclude or redact sensitive ecological data from plans that are to be published on the website or provided to a member of the public; and d. keeps plans published on the website until the end date of this approval.	COMPLIANT
EPBC Approval Condition [No.18] Within 30 days after the Completion of the action, the approval holder must notify the Department in writing and provide completion data.	NOT APPLICABLE

2.1 Key findings

The following are the key findings of the Audit. **Table 3** provides further details of the Audit methodology, evidence reviewed and findings.

2.1.1 Impact area

The subject development project was approved on 6th September 2021 under the EPBC Act, with 18 conditions of approval (EPBC 2019/8516). **Snip 1** provides the approved Impact Area and total extent of clearing and **Snip 2** shows the finalised landscape.



Snip 1 – Clearing extent on HB Qld Impact Site



Snip 2 – Finalised landscape of the HB Qld Impact Site

The western portions of the site were resumed by the State of Queensland for the purposes of providing an educational facility. The College grounds have been kept to within the approved footprint and no additional clearing has been undertaken. This change has reduced the ongoing threats to koala through the removal of the roadways adjacent to the Goodna Creek Corridor.

2.1.2 Offset area

Figure 2 shows the Offset Area. Scenic Ridge is located on Geiger Road, Allandale. The property is within the Scenic Rim Regional Council and is approximately 7 km west of the Boonah township. The Scenic Ridge property is entirely contained on Lot 15 on W311675 (refer to **Figure 2**).

The land tenure of Scenic Ridge is freehold, where it retains a rural land use zoning under the Scenic Rim Planning Scheme 2020. The offset property is accessed via Geiger Road to the north which is a rural road off Allandale Road. From boundary to boundary, the offset property is located approximately 45 km south of the impact site.

The offset site and surrounding lands have historically been utilised for cattle grazing with the site being extensively cleared.

On 7 October 2021 the offset provider Habitat Exchange Solutions (HES) lodged the Scenic Ridge Offset Management Plan version 5 (dated 15 March 2022) which was subsequently approved by the **Department** on 25 March 2022. ACR 2 provided evidence of the DCCEEW approval. Management activities commenced immediately upon receiving approval. The reporting period for the offset area is 25 March to 24 March each following year.

The offset is currently in year 3 of management activities.

The Audit inspection identified the Offset area provides habitats for the nominated MNES, as well as other MNES. Where scattered juvenile native regrowth trees were observed, the species consist of *Eucalyptus crebra* (Narrow-leaved Ironbark), *Corymbia citriodora* (Spotted Gum) and *Eucalyptus tereticornis* (Forest Red Gum). Active plantings were also observed and were establishing well. Overall, the offset area is well advanced towards achieving the stated milestones.

The species establishing within the offset area are representative of RE12.9-10.2 which also aligns with the QLD Herbarium preclearance regional ecosystem mapping. This ecosystem will provide habitats suitable for the targeted MNES species.

Table 3 provides a summary of the actions taken within the offset area, for the 3 year period of the audit, against the Scenic Ridge Offset Management Plan stated completion criteria.

Table 3: Offset Management Actions and Criteria.

Milestone	Completion Criteria	Progress	Evidence
Management Action 1 – Feral Animal Control			
Year 1	Complete detailed baseline feral animal management surveys.	These actions have been completed and were included within the Year 1 and Year 2 Offset Area Annual Reports and provided with the ACR each year.	Attachment 1 of the OAAR provides the updated Pest Management Plan Year 1 and 2 ACR's provide management action details.
	Consult Scenic Rim Regional Council and / or the Regional Pest Management Representative		
	Develop a Pest Management Implementation Strategy		
Year 5	Replicate the Year 1 detailed baseline / seasonal pest management survey(s) to demonstrate less than 5% of the Year 1 baseline survey results.	NA at the time of this Audit	NA
Adaptive Management	If greater than 5% of the baseline pest survey results remain in the Year 5 survey and reporting, Year 10 survey results to demonstrate that the less than 5% of the baseline survey has been achieved.	As noted in the annual reporting an increase in wild dog numbers was observed at between monitoring occurring in Year 1 versus monitoring associated with trapping in Year 2. In response to this a expanded monitoring program has been deployed and will continue over the offset area. The Pest Management Plan was updated to outline the revised approach. Wild dog data collection has continued within the Year 3 period.	Attachment 1 of the OAAR provides the updated Pest Management Plan
Management Action 2 - Weeds of National Significance Control			
Year 1	Complete detailed baseline / weed extent surveys utilising an antenna based GPS system	A Pest Management Plan has been prepared in accordance with the Queensland Government Pest Management Plan template. Base line surveys have been completed for Pest Species (Weeds and Animals) within the Offset Site. An updates version of the Plan was developed to incorporate an expanded dog monitoring program.	Refer <u>Attachment 1</u> of the Annual Offset Area Report for the updated Pest Management Plan and to Part B and C of this report for more details on Weed and Pest Management works during the year 3 period.

Milestone	Completion Criteria	Progress	Evidence
Year 5	Replicate Detailed Weed Extent Re-Survey through the OMZ1 – Include plans and calculations in the Year 5 OAAR demonstrating less than 5% of the OMZ1 area to contains weed infestations.	NA at the time of this Report, however it is noted that as part of year 3 activities significant mechanical and manual removal of 5 major lantana has occurred.	NA
Management Action 3 – Livestock Control			
Year 2	Complete all fencing as per the Indicative OMZ1 Fencing Plan	Fencing was completed as part of the Year 2 activities with evidence of the fence contained in the year 2 Offset Area Annual Report. The audit inspection confirmed the fence is in place and is appropriate for the purpose.	Year 2 Offset Area Annual Report. Audit site inspection.
Other	Annual inspection of the fencing integrity and stock breaches	The existing offset area fence is periodically inspected. Annual reports identify that specific surveys occurred in October and November 2024, following major storm events to ensure any felled trees had not compromised fence. The offset area perimeter fence was undamaged and continued to prevent livestock access.	No Stock breaches during the period / physical inspection of the fences. Audit site inspection found the fence to be well maintained, suitable and effective.
Management Action 4 - Access and Trespass Control			
Year 1	Inspection and rectification of all perimeter fencing	Primary adjoining land holder is government gazetted road reserve. Mr Wesley Nugent is the registered owner of allotments to the east and south and has been duly notified. Mr Nugent provides ongoing weed spraying and control over the balance areas of the property as a paid contractor.	Fence is established and maintained.
	Notification of offset areas, purpose and outcomes to all adjoining land holders		NA
Other	Access gates and signage to be installed where OMZ1 fencing crosses tracks required to be maintained for access	A single 4WD vehicle track incises the offset site and internally contains an access gate – the track terminates at an existing external access	1 existing gate was utilised and 1 new gate installed as part of the offset area fencing.

Milestone	Completion Criteria	Progress	Evidence
		gate which exists the property.	Audit inspection viewed both gates and they were functional and effective. No evidence of any unauthorised uses was observed.
Management Action 5 – MNES Habitat Restoration			
Year 1	Finalise locations, sequence and timing for revegetation program	Planting works were prepared in Year 1 activities and core revegetation with native tube stock undertaken in Year 2. These outcomes are documented within the Year 2 Offset Area Annual Report. Due to an extended period of dry weather with consistent winds an additional watering cube was established adjacent to a permanent spring area on the western gully line through the offset area. This enables water to be pumped directly from the gully into the cube and then carted for additional watering.	Refer to OAAR Year 2 report for details on planting and natural regeneration. Photo monitoring points have been established and were viewed as part of the audit.
	Cultivate and prepare OMZ1 (34.7ha) area in preparation for year 2 planting		
	Create OMZ1 water source for revegetation establishment (purpose located dam or broadscale irrigation)		
	Establish photo monitoring points and protocols for the OMZ1		
Year 2	Complete OMZ1 MNES habitat restoration (34.7ha)		Refer to OAAR Year 2 report for details on planting and natural regeneration.
	For the OMZ1, achieve a MHQA score of 4/10 and GHFF FHA score of 5/10		Whilst the audit did not undertake detailed habitat measurements, it is apparent the offset area has established well and is expected to readily meet the projected targets.
	For the OMZ1, maintain a MHQA score of 7/10 and GHFF FHA score of 8/10		
Other			
Annually & Year 5, 10, 15 & 20	Complete Offset Area Annual Reports, with major milestone reporting completed in Year 5, Year 10, Year 15 and Year 20.	NA at the time of this Report	NA

2.1.3 Ecological assessment and reporting

The ecological assessments and compliance reporting reviewed by this audit provide a high level of understanding of the progress of the impact actions and offset area management. All compliance reports address the relevant conditions and provide evidence of actions taken.

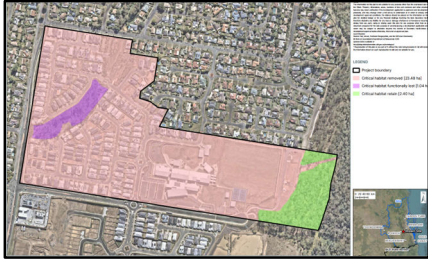
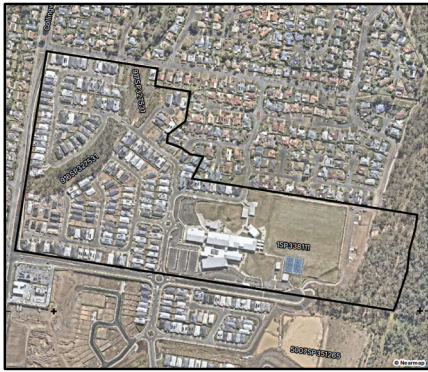
3.0 Audit Criteria and Methodology

Table 4 provides the approved Audit Criteria, Methodology and Audit compliance assessment results.

DRAFT
Audit Criteria and Methodology
The Pocket Residential Development, Collingwood Park, Ipswich, Queensland
QLD EPBC 2019/8516
Approval Holder: HB QLD Pty Limited, Suite 323, Oracle South,
17 Elizabeth Avenue, Broadbeach, QLD 4218

DATE OF REPORT: Proposed date of Independent Audit Report submission to DCCEEW – 14 February 2026.
REPORT PREPARED BY: Adrian Caneris
REPORT APPROVED BY: Peter Johnson, HB Qld National Development Manager 11 February 2026.
AUDIT PERIOD: The Audit will cover project activities and conditions of approval for the period of 6 Sept 2021 (Commencement of the Action) to 5 September 2025 (first 3-year period).

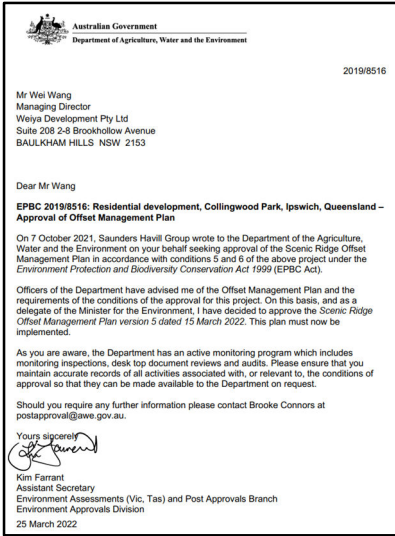
Table 4: Audit Criteria, Methodology, and Compliance Assessment Results.

CONDITIONS OF EPBC ACT APPROVAL - AUDIT CRITERIA AND METHODOLOGY					
EPBC Approval Condition [No.1]	The approval holder: a) must not clear more than 24.89 hectares of Koala habitat and Grey-headed Flying-fox foraging habitat within the development area ; b) must retain the 2.21 hectares Koala habitat and Grey-headed Flying-fox foraging habitat in Goodna Creek riparian buffer ; and c) must not clear outside of the development area .				
	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
a) must not clear more than 24.89 hectares of Koala habitat and Grey-headed Flying-fox foraging habitat within the development area ; b) must retain the 2.21 hectares Koala habitat and Grey-headed Flying-fox foraging habitat in Goodna Creek riparian buffer ; c) must not clear outside of the development area .	A desktop review of the proposed impact area (ecological reports and EPBC approval documentation) will be undertaken to inform the approved impact area. The verification method will include a GIS analysis of the impact footprint against the identified Koala and Grey Headed Flying-fox habitat values and state vegetation mapping. A field inspection will be undertaken, to confirm current extent of the impact area and retained habitats, to confirm that 2.21 hectares Koala habitat and Grey-headed Flying-fox foraging habitat has been retained in Goodna Creek riparian buffer. A field inspection will be undertaken, using submeter GPS to confirm current impact area.	Construction activities at the impact site' commenced on 22 September 2021 The EPBC approval provided for the clearing of the site in two (2) stages with Stage 1 allowed to commence with the approval of the action and Stage 2 able to be cleared once the full approval of the Offset Management Plan had occurred. The clearing was undertaken in a two-stage manner which involved the clearing of the midstory and groundcover vegetation 24 hours prior to clearing the habitat features on-site. This process allows arboreal fauna to disperse over night after the initial disturbance and results in fewer animal interactions. Stage 1 was cleared February 2022 and with the approval of the OMP in March 2022 the balance of the land was cleared in October 2022. As noted in the Year 2 ACR, bulk clearing works were practically completed in 2023. Onsite vegetation clearing has not exceeded the EPBC approved limit of 24.89 ha of critical habitat. ACR 4 Includes - <i>GIS analysis indicates a total of 23.48 ha of critical habitat has been cleared and</i>	ACR 1-4 - https://hbland.com.au/project/the-pocket/ Site Inspection 03/02/2026. EPBC Approved Plan  Aerial Imagery 2025 (Near Map) 	The approval holder has not cleared more than 24.89 hectares of Koala habitat and Grey-headed Flying-fox foraging habitat within the development area and has retained the 2.21 hectares Koala habitat and Grey-headed Flying-fox foraging habitat in Goodna Creek riparian buffer; and has not undertaken any clearing outside of the development area.	COMPLIANT

		1.04 hectares functionally lost as of September 2025. No unauthorised clearing was identified by the site inspection.			
EPBC Approval Condition [No.2]	To minimise the risk of injury or death to Koalas and Grey-headed Flying-fox within the development area during clearing and construction , the approval holder must: a) ensure that a qualified fauna spotter catcher is present during all clearing and is given sufficient authority to guide all clearance to ensure that Koalas and Grey-headed Flying-foxes have safely moved out of the development area identified for clearing , of their own volition, before Koala habitat and Grey-headed Flying-fox foraging habitat is cleared ; and b) install temporary Koala exclusion fencing around all construction works. Temporary Koala exclusion fencing must be installed immediately after any clearing and prior to the commencement of any construction so as to prevent any Koala entering during construction . Temporary Koala exclusion fencing must remain in place around any construction area until all construction activities within the fenced area are completed.				
Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
a) ensure that a qualified fauna spotter catcher is present during all clearing and is given sufficient authority to guide all clearance to ensure that Koalas and Grey-headed Flying-foxes have safely moved out of the development area identified for clearing , of their own volition, before Koala habitat and Grey-headed Flying-fox foraging habitat is cleared ; b) install temporary Koala exclusion fencing around all construction works. Temporary Koala exclusion fencing must be installed immediately after any clearing and prior to the commencement of any construction so as to prevent any Koala entering during construction . Temporary Koala exclusion fencing must remain in place around any construction area until all construction activities within the fenced area are completed	Review of evidence provided in ACRs and documentation of management actions in the Fauna Spotter Catcher Reports. Site inspection will be undertaken to confirm the fence is appropriately situated and is of suitable design and inspection will include assessment of current condition and maintenance. Photos and observations will also be undertaken.	A) The ACR reporting includes: Prior to and during clearing, an appropriately qualified fauna spotter catcher (FSC) was engaged to identify the presence of any koalas within the works area. The clearing was undertaken in a two-stage manner which involved the clearing of the midstory and groundcover vegetation 24 hours prior to clearing the habitat features on-site. This process allows arboreal fauna to disperse over night after the initial disturbance and results in fewer animal interactions. ACR 1 & 2 reporting includes (as Appendix B) the pre-clearing and post clearing reports prepared by Queensland Fauna Consultancy who were the engaged FSC. Stage 1 FSC. Stage 1 was cleared in February 2022 and with the approval of the OMP in March 2022 the balance of the land was cleared in October 2022. As noted in the Year 2 ACR all clearing had been completed for the project. B) ACR 1 (p.4) identifies that a temporary koala exclusion fence was erected around the Stage 1 construction works area and provides an image of the fencing. 	ACR 1-3- https://hbland.com.au/project/the-pocket/ Site Inspection 03/02/2026. QFC Fauna Management and Spotter/Catcher Services Reports provided as Appendices to ACR reports.	The approval holder has: a) ensured that a qualified fauna spotter catcher is present during all clearing and is given sufficient authority to guide all clearance to ensure that Koalas and Grey-headed Flying-foxes have safely moved out of the development area identified for clearing, of their own volition, before Koala habitat and Grey-headed Flying-fox foraging habitat is cleared; and b) installed temporary Koala exclusion fencing around all construction works. Temporary Koala exclusion fencing was installed immediately after any clearing and prior to the commencement of any construction and fencing was retained in place until all construction activities were completed.	COMPLIANT

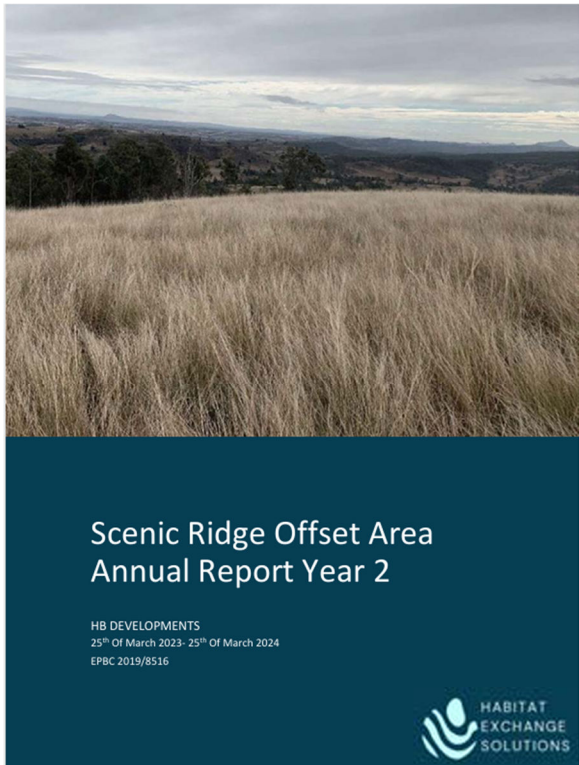
		A daily fauna exclusion fence check is undertaken by the engaged civil contractor to ensure that no fauna is trapped within the construction area. ACR 3 Appendix B, provides numerous images of the Koala exclusion fencing around the impact site during construction phase within one selected photo provided below. 			
EPBC Approval Condition [No.3]		For the ongoing protection of the Koala population at the development area , the approval holder must install and maintain for the duration of the approval, fauna movement solutions on all roads that run adjacent to Goodna Creek riparian buffer , including Koala awareness signage , speed management measures and fauna friendly crossings. The approval holder must ensure a maximum speed limit of no greater than 40 km / hour is enforced during the construction phase in the development area at all times until a government entity assumes control of all roads in the development area .			
Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
	Review of all evidence provided in ACRs and documentation of management actions. A site inspection will be undertaken to confirm that the approval holder or their consultants have implemented the prescribed actions and undertaken appropriate maintenance.	There has been a change in the use of lands identified as Stage 2 of the approved development. These lands were resumed by the State of Queensland for a School. The impact footprint remained unchanged though the provision of a school facility has removed the proposed roadways. This area had been cleared during Year 2 of the action, though had not advanced to the point at which it adjoins the Goodna Creek riparian buffer with infrastructure or development. Clearing had occurred in this zone; however no road or allotment construction had commenced and any access by vehicles or public was prevented by fencing. As development design has avoided the construction of roads adjacent to the retained Goodna Creek riparian buffer, specific fauna sensitive design measures have not been required. Goodna Creek corridor is buffered to the west by a stormwater drainage basin which has been rehabilitated with groundcover plantings. Access	Annual Compliance Reports https://hbland.com.au/wp-content/uploads/2025/08/9641_EPB_C_ACR_YEAR_1.pdf (p10) https://hbland.com.au/wp-content/uploads/2025/08/9641-E-2-9641-ACR-2-Client-Publication-12-12-2023-A.pdf p9) https://hbland.com.au/wp-content/uploads/2025/10/9641_AC_R_YEAR_3_12122024-V2-web.pdf (p10) Site Inspection 03/02/2026. QFC Fauna Management and Spotter/Catcher Services Reports provided as Appendices to ACR reports. Qld Globe Aerial Imagery.	The approval holder has not created any roads that run adjacent to Goodna Creek riparian buffer and therefor has not been required to provide any Koala awareness signage, speed management measures or fauna friendly crossings. The approval holder has required all construction activities to maintain a maximum speed limit of no greater than 40 km / hour during the construction phase. A government entity has assumed control of all roads in the development area.	COMPLIANT OBSERVATION The change in use of stage 2, from urban residential to a school, has resulted in the removal of all roadways adjacent to the Goodna Creek Corridor.

		within this area is limited to maintenance tracks and pedestrian paths only. The closest roads to the Goodna Creek corridor include a pre-existing small court to the north and a school drop off cul-de-sac to the south-west (Eagle Street). All streets around the school are heavily signed, stencilled with other traffic control measures also deployed for safety.  The rear of the school (adjoining Goodna Creek Corridor) has a functioning Koala exclusion fence set atop a high retaining wall located along the eastern boundary of the school, effectively separating the development uses from the adjoining flood storage basin and Goodna Creek corridor.  ACR 1 & 2 identify that during construction specifically, vehicle speeds were limited to 40 km/hr.			
EPBC Approval Condition [No 4]	To compensate for the clearing of 24.89 hectares of Koala habitat and Grey-headed Flying-fox foraging habitat , the approval holder must: a) Legally secure at least 34.7 ha of land at the Scenic Ridge Offset Management Zone 1 area prior to the commencement of the action ; and b) within 20 business days of legally securing the Scenic Ridge Offset Management Zone 1 area, provide the Department with written evidence demonstrating that the Scenic Ridge Offset Management Zone 1 area has been legally secured (e.g. legal security documentation), including shapefiles and the offset attributes .				
Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding

a) Legally secure at least 34.7 ha of land at the Scenic Ridge Offset Management Zone 1 area prior to the commencement of the action; and b) within 20 business days of legally securing the Scenic Ridge Offset Management Zone 1 area, provide the Department with written evidence demonstrating that the Scenic Ridge Offset Management Zone 1 area has been legally secured (e.g. legal security documentation), including shapefiles and the offset attributes.	Review of the offset strategy and if formal acceptance by the Department has been made. Review of stated management actions and review of ACR reporting for those actions being implemented. Inspection of the offset areas, with the Approval Holder’s nominated consultants to identify key management action locations and their implementation and success. Confirmation that the offset areas have been legally secured. Review of stated timelines and comparison with ACR reporting for compliance.	The offset area was legally secured on 9 September 2021. The offset area was secured via a Voluntary Declaration under the <i>Vegetation Management Act 1999</i> on 9 September 2021 The Department was notified via email with an attachment of the offset area shapefiles on 10 September 2021.	Scenic Ridge – Offset Management Plan, prepared by Habitat Exchange Solutions for Weiya Development Pty Ltd (15/03/2022) - https://hbland.com.au/wp-content/uploads/2025/08/9641-E-1-OMP-A.pdf 	The approval holder (HB Qld) has: a) Legally secured at least 34.7 ha of land at the Scenic Ridge Offset Management Zone 1 area under a Voluntary Declaration under the <i>Queensland Vegetation Management Act 1999</i> on 9 September 2021 and this was undertaken prior to the commencement of the action; and b) within 20 business days of legally securing the Scenic Ridge Offset Management Zone 1 area, the approval holder provided the Department with written evidence demonstrating that the Scenic Ridge Offset Management Zone 1 area had been legally secured.	COMPLIANT
EPBC Approval Condition [No.5]	The approval holder must, within one month of this approval decision, submit an Offset Management Plan for Scenic Ridge Offset Management Zone 1 for approval by the Minister. The approval holder must not commence works within the Phase 2 Area until the Offset Management Plan for Scenic Ridge Offset Management Zone 1 has been approved by the Minister in writing. The approval holder must implement the Offset Management Plan approved by the Minister for Scenic Ridge Offset Management Zone 1.				
Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
	A review of documentation to confirm the timing and approval of the Offset Management Plan. ACR’s and other documentation will be reviewed to confirm timing of works within Phase 2 is compliant. A review of the EPBC Management Plan and ACR’s will be completed to identify evidence of the approval holder not commencing works within the Phase 2 area until the Offset Management Plan for Scenic Ridge Offset Management Zone 1 has been approved by the Minister in writing.	<u>The Offset Strategy was submitted to the department on the 23 of September 2020 and was approved by the Department on the 8 October 2020.</u> 	Annual Compliance Reports https://hbland.com.au/wp-content/uploads/2025/08/9641_EPB_C_ACR_YEAR_1.pdf (p10) https://hbland.com.au/wp-content/uploads/2025/08/9641-E-2-9641-ACR-2-Client-Publication-12-12-2023-A.pdf p9) https://hbland.com.au/wp-content/uploads/2025/10/9641_AC_R_YEAR_3_12122024-V2-web.pdf (p10) The Pocket - HB Land Department Letter of approval – dated 25 March 2022	The approval holder submitted an Offset Management Plan for Scenic Ridge Offset Management Zone 1 for approval by the Minister within the required time. The approval holder did not commence works within the Phase 2 Area until the Offset Management Plan for Scenic Ridge Offset Management Zone 1 had been approved by the Minister. The approval holder has commenced implementation of the prescribed actions within the Offset Management Plan approved by the Minister for Scenic Ridge Offset Management Zone 1.	COMPLIANT

EPBC Approval Condition [No.6]	The Offset Management Plan for Scenic Ridge Offset Management Zone 1 must be consistent with the Department's Environmental Management Plan Guidelines, and must include the following: a) A summary of the residual impacts to Koala habitat and Grey-headed Flying-fox foraging habitat that will be compensated for by the offset. This summary must include the area(s) of habitat for protected matters and its condition and quality at all impact sites which the offset is to address. b) Detailed survey methodologies for determining baselines on the proposed offset for feral animal abundance and extent of weed cover, modified habitat quality assessment for Koala, and a Grey-headed Flying-fox habitat assessment; and detailed methodologies for specifying baseline levels based on the survey data. c) The environmental objectives, relevant to Koala and Grey-headed Flying-fox, and a reference to the EPBC Act approval conditions and other applicable conditions of approval (including State approval conditions), if any, to which the Offset Management Plan refers. d) A table of commitments made in the Offset Management Plan to achieve the environmental objectives, and a reference to where the commitments are detailed in the Offset Management Plan. e) Reporting and review mechanisms, and documentation standards to demonstrate compliance with management and environmental commitments in the Offset Management Plan. f) An assessment of risks to achieving environmental objectives and risk management strategies that will be applied. g) Impact avoidance, mitigation and/or repair measures, and their timing. h) A monitoring program, which must include: i. measurable performance indicators to monitor attainment of the offset completion criteria; ii. trigger values for corrective actions; and iii. the timing and frequency of monitoring to detect trigger values and changes in the performance indicators. i) Proposed corrective actions, if trigger values are reached or performance indicators not attained.				
Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
The Offset Management Plan for Scenic Ridge Offset Management Zone 1 must be consistent with the Department's Environmental Management Plan Guidelines.	Review of the Offset Management Plan for Scenic Ridge Offset Management Zone 1 to ascertain if it includes and addresses a – i of the EPBC Approval Condition No.6 and prescribed actions are consistent with the department's Environmental Management Plan Guidelines.	My review of the Offset Management Plan for Scenic Ridge Offset Management Zone 1 has found the following: a) A summary of the residual impacts to Koala habitat and Grey-headed Flying-fox foraging habitat is provided in Section 2.0. b) Section 1.7 provides the details of all survey methodologies for determining baselines on the proposed offset for feral animal abundance and extent of weed cover, modified habitat quality assessment for Koala, and a Grey-headed Flying-fox habitat assessment; and detailed methodologies for specifying baseline levels based on the survey data. c) Table 1.0 (p.8) addresses the EPBC Act approval conditions and compliance approach. d) Table 19 (p.49) provides a detailed summary of management actions and commitments, and these are provided against relevant milestones. e) The Plan includes detailed reporting and review mechanisms and adaptive management is outlined. The approval holder has entered in contractual arrangements for the offset provider to issue an Offset Area Annual Report within 30 days of each 12 months anniversary of the documented commencement of the action. This commitment was purposely documented to ensure adequate time is provided to the proponent to evaluate and utilise the Offset Area Annual Report in preparing Action Annual	Scenic Ridge – Offset Management Plan, prepared by Habitat Exchange Solutions for Weiya Development Pty Ltd (15/03/2022) - https://hbland.com.au/wp-content/uploads/2025/08/9641-E-1-OMP-A.pdf DCCEEW 2024, Environmental Management Plan Guidelines, Department of Climate Change, Energy, the Environment and Water, Canberra, - https://www.dcceew.gov.au/sites/default/files/documents/environmental-management-plan-guidelines.pdf Annual Compliance Reports 1-4 The Pocket - HB Land	My review of the Offset Management Plan for Scenic Ridge Offset Management Zone 1 has found it to be wholly consistent with the Department's Environmental Management Plan Guidelines, and includes the required details.	COMPLIANT

Compliance Reporting. The annual offset reporting is provided as appendices to the ACR’s.



f) Risks associated with climate change, pest control, large scale rehabilitation and grazing are evaluated for the Offset. Risks are generally described and assessed against the likelihood and consequence model outlined in the Commonwealth Government’s Department of Environment – *Environmental Management Plan Guidelines* (2014). The following risk factors are considered in detail:

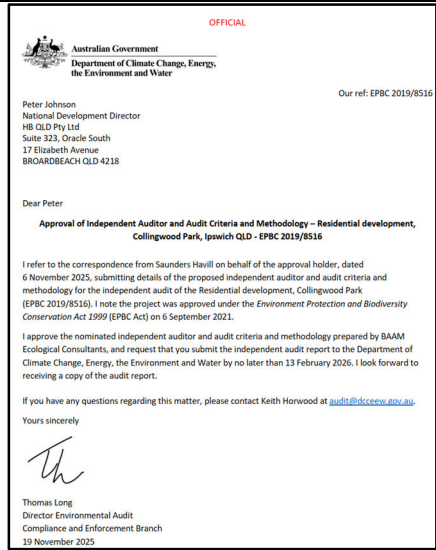
- Risk 1: Wildfire;
- Risk 2: Drought;
- Risk 3: Shifting habitat range;
- Risk 4: Plant stock failure;
- Risk 5: Feral animal control;
- Risk 6: Weeds of National Environmental Significance increased infestations; and
- Risk 7: Livestock control and access and trespass management.

Each management action includes a specific action for Risk reduction measures. An assessment of risks to achieving environmental objectives and risk management strategies that will be applied.

		g) Section 2.4 addresses impact avoidance, mitigation and management measures. Key actions identified include: A number of avoidance and mitigation measures are proposed to reduce identified impacts on the Koala, GHFF and Greater Glider, and their habitat. These include: - Retention of the Goodna Creek corridor - Rehabilitation and restoration of the Goodna Creek corridor. - Fauna friendly road designs and crossing. - Fauna sensitive streetscaping and landscaping. - Site based management plans, and their timing. h) A monitoring program has been prescribed and reporting on MNES habitat restoration activities is to occur with each 12 month Offset Area Annual Report (included in ACR as appendix) and major monitoring results and adaptive management changes to be documented at Year 5, 10, 15 & 20. i) Section 6 and Table 22 provide details of trigger values, proposed corrective actions, and timeframes.			
EPBC Approval Condition [No.7]	The approval holder must notify the Department in writing of the date of commencement of the action within 10 business days after the date of commencement of the action .				
Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
	Confirmation of notification of commencement of the action and Departmental acknowledgement.	The action commencement on 22 September 2021. The Department was notified via email on 28 September 2021 of the formal commencement of the action.	Saunders Havill Notification Email to department – 28/09/2021.	The approval holder has duly notified the Department in writing of the date of commencement of the action and this was undertaken within 10 business days after the date of commencement of the action .	COMPLIANT
EPBC Approval Condition [No.8]	If the commencement of the action does not occur within 5 years from the date of this approval, then the approval holder must not commence the action without the prior written agreement of the Minister .				
Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
	Review of commencement of stage 1 against date of EPBC approval and confirmation of compliant timing.	The action commencement on 22 September 2021. Therefore, the commencement of the action occurred within 5 years from the date of the subject approval (06/09/2021).	EPBC approval Residential development, Collingwood Park, Ipswich, Queensland, (EPBC 2019/8516). ACR 1 The Pocket - HB Land	The commencement of the action occurred within 5 years from the date of approval.	COMPLIANT

EPBC Approval Condition [No.9]	The approval holder must maintain accurate and complete compliance records .				
Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
	Review of all associated management plans and annual compliance reporting to confirm their accuracy and completeness.	The approval and their nominated ecological advisors have maintained detailed records of all activities and compliance. ACR reports provide detailed information of all actions taken within both impact and offset sites. Relevant documents are available on the project website.	EPBC approval Residential development, Collingwood Park, Ipswich, Queensland, (EPBC 2019/8516). ACR 1-4 - The Pocket - HB Land EPBC Documentation • EPBC Management Plan • EPBC ACR 2022 • EPBC ACR 2023 • EPBC ACR 2024 • EPBC ACR 2025 • Environmental Approval Overview	The approval holder has maintained accurate and complete compliance records .	COMPLIANT
EPBC Approval Condition [No.10]	If the Department makes a request in writing, the approval holder must provide electronic copies of compliance records to the Department within the timeframe specified in the request. Note: Compliance records may be subject to audit by the Department or an independent auditor in accordance with section 4S8 of the EPBC Act, and or used to verify compliance with the conditions. Summaries of the result of an audit may be published on the Department's website or through the general media.				
Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
	Audit will include review of any Departmental requests and if present, the Authority Holder's response and compliance.	No departmental requests have been identified by this audit.	None	No actions have been required.	NOT APPLICABLE
EPBC Approval Condition [No.11]	The approval holder must prepare a compliance report for each 12-month period following the date of commencement of the action, or otherwise in accordance with an annual date that has been agreed to in writing by the Minister. The approval holder must: a. publishes each compliance report on the website within 60 business days following the relevant 12-month period; b. notify the Department by email that a compliance report has been published on the website and provide the weblink for the compliance report within 5 business days of the date of publication; c. keeps all compliance reports publicly available on the website until this approval expires; d. excludes or redact sensitive ecological data from compliance reports published on the website; and e. where any sensitive ecological data has been excluded from the version published, submit the full compliance report to the Department within 5 business days of publication.				
Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
The approval holder must prepare a compliance report for each 12-month period following the date of commencement of the action , or otherwise in accordance with an annual date that has been agreed to in writing by the Minister .	Confirmation compliance reports have been published within 60 days of business following the relevant 12-month period and maintained on the authority holder's website. Confirmation of notification emails and timing of notification to the Department of compliance reporting.	The audit has been provided with all the relevant documentation required for the Audit. Review of the nominated Web site confirms all compliance reports are available and no sensitive ecological data is provided. . All ACR's have been duly notified to the Department.	https://hbland.com.au/project/the-pocket/	The approval holder has ensured the preparation of compliance reports for each 12-month period following the date of commencement of the action and all compliance reports are publicly available on the projects website .	COMPLIANT

	Review of compliance reports for inclusion of any ecologically sensitive data.		EPBC Documentation • EPBC Management Plan • EPBC ACR 2022 • EPBC ACR 2023 • EPBC ACR 2024 • EPBC ACR 2025 • Environmental Approval Overview		
EPBC Approval Condition [No.12]	The approval holder must notify the Department in writing of any incident, non-compliance with the conditions, or non-compliance with the commitments made in plans. The notification must be given as soon as practicable, and no later than 2 business days after becoming aware of the incident or non-compliance. The notification must specify: a. any condition which is or may be in breach. b. a short description of the incident and/or non-compliance; and c. the location (including co-ordinates), date, and time of the incident and/or non-compliance. In the event the exact information cannot be provided, provide the best information available.				
Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
a. any condition which is or may be in breach. b. a short description of the incident and/or non-compliance; and c. the location (including co-ordinates), date, and time of the incident and/or non-compliance. In the event the exact information cannot be provided, provide the best information available.	Review all ACR reports for any incidents, non-compliance with the conditions; or non-compliance with the commitments made in plans. Where any non-compliance is identified, review of notification to the department and the timing there of. Audit will include site inspection to assess conditions compliance and include confirmation of any non-conformances identified and description of the non-conformance/s and if they have been appropriately identified, detailed and notified.	Review of the ACR's and Approval conditions have not identified any known any incident or noncompliance with the conditions or commitments made in plans. The Site inspections (Impact and Offset areas) did not identify noncompliance with the conditions or commitments made in plans.	None	There has not been any incident or noncompliance with the conditions or commitments made in plans. No notification or corrections have been required.	COMPLIANT
EPBC Approval Condition [No.13]	The approval holder must provide to the Department the details of any incident or noncompliance with the conditions or commitments made in plans as soon as practicable and no later than 10 business days after becoming aware of the incident or non-compliance, specifying: a. any corrective action or investigation which the approval holder has already taken or intends to take in the immediate future. b. the potential impacts of the incident or non-compliance; and c. the method and timing of any remedial action that will be undertaken by the approval holder.				
Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
a. any corrective action or investigation which the approval holder has already taken or intends to take in the immediate future. b. the potential impacts of the incident or non-compliance; and	Audit of condition 13 will include a review of any notified incident or non-compliance. Where present a review of corrective actions investigations and impact of the incidents or non-compliance will be	Review of the ACR's and Approval conditions have not identified any known any incident or noncompliance with the conditions or commitments made in plans. The Site inspections (Impact and Offset areas) did not identify noncompliance with the conditions or commitments made in plans.	None	There has not been any incident or noncompliance with the conditions or commitments made in plans. No notification or corrections have been required.	COMPLIANT

c. the method and timing of any remedial action that will be undertaken by the approval holder.	undertaken including review of remedial actions and the timing.				
EPBC Approval Condition [No.14]	The approval holder must ensure that independent audits of compliance with the conditions are conducted for the three-year period from the date of this approval and subsequently as requested in writing by the Minister .				
Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
	Audit will include confirmation of independence and will confirm audit timing and compliance.	This Audit has been undertaken by Adrian Caneris – Principal Wildlife Specialist at BAAM Ecology. The Audit has been conducted independently, and the Auditor has provided certification within Audit reporting.	Initial approach email and confirmation of engagement by HB Qld.	The approval holder has undertaken the steps to engage this independent audit of compliance with the conditions is conducted for the first three-year period from the date of approval.	COMPLIANT
EPBC Approval Condition [No.15]	For each independent audit , the approval holder must: a. provide the name and qualifications of the independent auditor and the draft audit criteria to the Department ; b. only commence the independent audit once the independent auditor and the audit criteria have been approved in writing by the Department ; and c. submit an audit report to the Department within the timeframe specified in the approved audit criteria.				
Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
a. provide the name and qualifications of the independent auditor and the draft audit criteria to the Department; b. only commence the independent audit once the independent auditor and the audit criteria have been approved in writing by the Department; and c. submit an audit report to the Department within the timeframe specified in the approved audit criteria.	Name and qualifications of the independent auditor are provided to the Department with draft audit criteria. Confirmation that Audit commenced after the draft audit criteria have been approved in writing by the Department. Audit report to be submitted to the Department within the timeframe specified in the approved audit criteria.	Saunders Havill on behalf of the approval holder (6 November 2025), submitted details of the proposed independent auditor and audit criteria and methodology for the independent audit of the Residential development, Collingwood Park (EPBC 2019/8516). The nominated independent auditor and audit criteria and methodology prepared by BAAM Ecological Consultants, was approved by Thomas Long on 19 November 2025. This Audit has been undertaken by Adrian Caneris – Principal Wildlife Specialist at BAAM Ecology. Adrian is a Certified Environmental Practitioner with Ecology Specialist Accreditation (Registration No. 20007, dated 29 August 2013).		The approval holder has provided the name and qualifications of the independent auditor and the draft audit criteria to the Department. The independent audit did not commence until the audit criteria was approved in writing by the Department; This report has been prepared to allow time for submission to the Department within the timeframe specified in the approved audit criteria.	COMPLIANT

		A snip of the auditors CENVP qualification below:			
					
EPBC Approval Condition [No.16]		The approval holder must publish the audit report on the website within 10 business days of receiving the Department’s approval of the audit report and keep the audit report published on the website until the end date of this approval.			
Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
	Unable to be verified by the Audit.	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE
EPBC Approval Condition [No.17]		The approval holder must: a. submit plans electronically to the Department ; b. unless otherwise agreed to in writing by the Minister , publish each plan on the website within 20 business days of the date that the plan was approved by the Minister in writing; c. exclude or redact sensitive ecological data from plans that are to be published on the website or provided to a member of the public; and d. keeps plans published on the website until the end date of this approval.			
Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
a. submit plans electronically to the Department ; b. unless otherwise agreed to in writing by the Minister , publish each plan on the website within 20 business days of the date that the plan was approved by the Minister in writing; c. exclude or redact sensitive ecological data from plans that are to be published on the website or provided to a member of the public; and d. keep plans published on the website until the end date of this approval.	Review of published plans and where available confirmation of the compliance of publication on the web site. Review of published plans for sensitive ecological data.	It is understood that all plans and documentation have been submitted electronically to the Department . The plans are available for public viewing on the projects website. Review of the Plans has not identified any sensitive ecological data within the published plans .	Electronic submission of Plans to the Department was confirmed by HB Qld nominated ecological advisors. All relevant management plans can be viewed on the project website – The Pocket - HB Land	The approval holder has submitted plans electronically to the Department ; and published each plan on the website within 20 business days of the date that the plan was approved by the Minister in writing. No sensitive ecological data is publicly available. The published plans are available on the approval holders website - The Pocket - HB Land .	COMPLIANT
EPBC Approval Condition [No.18]		Within 30 days after the Completion of the action , the approval holder must notify the Department in writing and provide completion data .			

Condition details	Verification Method	Evidence	Documents Sighted	Determination	Compliance Finding
	Review of the Action and if relevant, confirmation of notification the Action is required and/or completed.	The Action is not Completed.	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE

4.0 Audit Report— Auditor's Certification

4.1 Auditors' details

Adrian Caneris, Dip Man, EIANZ
Managing Director and Principal Wildlife Specialist
Biodiversity Assessment and Management Pty Ltd



4.2 Auditor's declaration:

I, Adrian Caneris

I certify that, to the best of my knowledge, all information provided in the audit report attached to this audit certification statement is true, correct and complete.

I am aware that section 491 of the EPBC Act makes it an offence in certain circumstances to knowingly provide false or misleading information or documents to specified persons who are known to be performing a duty or carrying out a function under the EPBC Act or the regulations. The offence is punishable on conviction by imprisonment for not more than 1 year, a fine not more than 60 penalty units, or both.



Date: 11 February 2026

APPENDIX 1

AUDIT METHODOLOGY AND CRITERIA APPROVAL



Australian Government

Department of Climate Change, Energy,
the Environment and Water

Our ref: EPBC 2019/8516

Peter Johnson
National Development Director
HB QLD Pty Ltd
Suite 323, Oracle South
17 Elizabeth Avenue
BROADBEACH QLD 4218

Dear Peter

**Approval of Independent Auditor and Audit Criteria and Methodology – Residential development,
Collingwood Park, Ipswich QLD - EPBC 2019/8516**

I refer to the correspondence from Saunders Havill on behalf of the approval holder, dated 6 November 2025, submitting details of the proposed independent auditor and audit criteria and methodology for the independent audit of the Residential development, Collingwood Park (EPBC 2019/8516). I note the project was approved under the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) on 6 September 2021.

I approve the nominated independent auditor and audit criteria and methodology prepared by BAAM Ecological Consultants, and request that you submit the independent audit report to the Department of Climate Change, Energy, the Environment and Water by no later than 13 February 2026. I look forward to receiving a copy of the audit report.

If you have any questions regarding this matter, please contact Keith Horwood at audit@dcceew.gov.au.

Yours sincerely

A handwritten signature in black ink, appearing to be 'Th' followed by a stylized flourish.

Thomas Long
Director Environmental Audit
Compliance and Enforcement Branch
19 November 2025

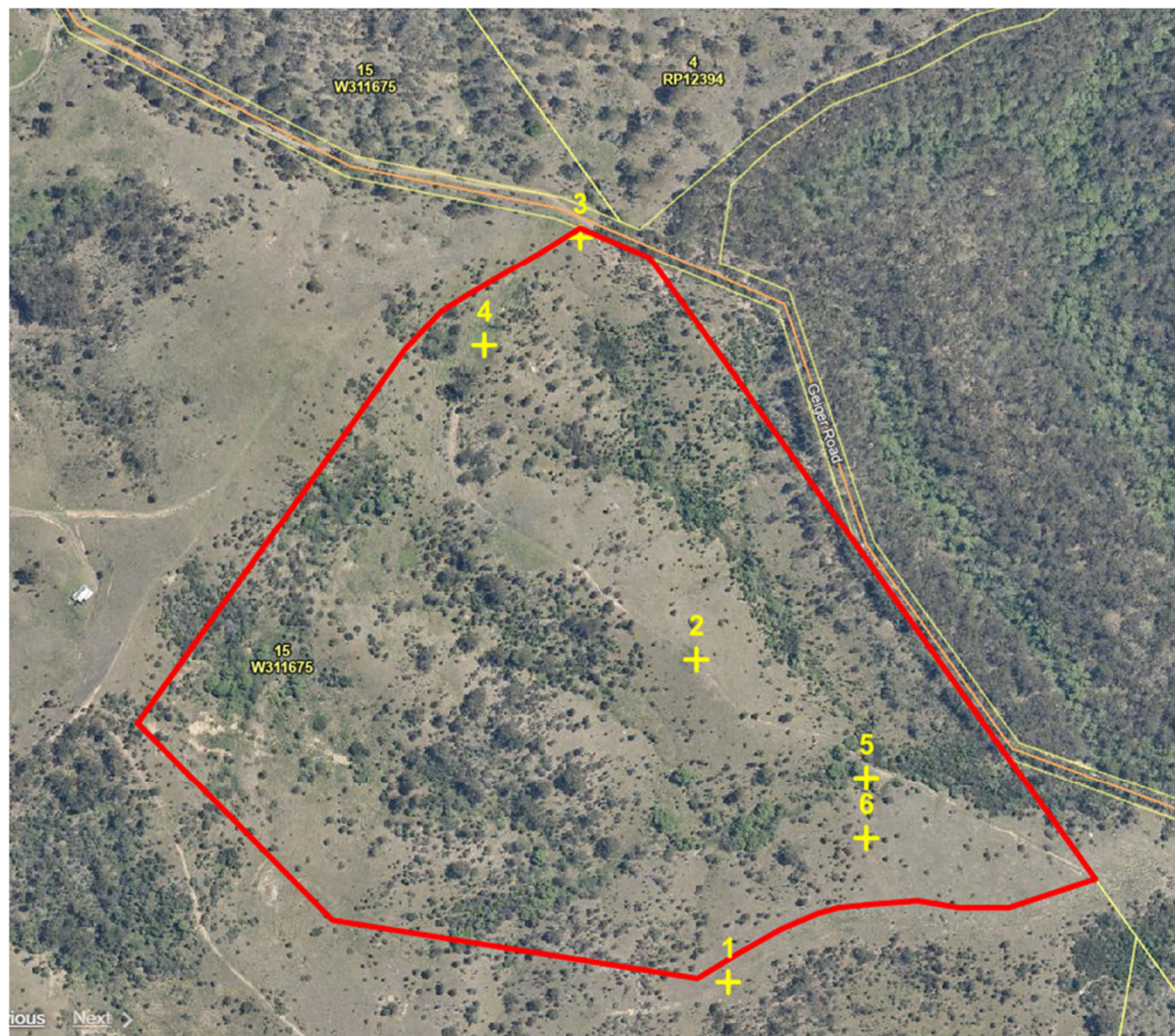
DCCEEW.gov.au

John Gorton Building, King Edward Terrace, Parkes ACT 2600 Australia
GPO Box 3090 Canberra ACT 2601 ABN: 63 573 932 849

APPENDIX 2

OFFSET SITE REPRESENTATIVE PHOTOS AND LOCATION DETAILS

HB Qld Scenic Rim Offset Location Details



Location Details	Representative Photo
(1) -28.0337949, 152.7702 General view from southern boundary looking over the offset area. Revegetation area showing native plant establishment and removal of Lantana and other weeds. Fence can be seen in the photo showing the complete change and increased habitat values within the offset area.	

Location Details	Representative Photo
(2) -28.03111, 152.7699 Showing infill plantings being undertaken in those portions where natural regeneration has not adequately established.	

Location Details	Representative Photo
(3) -28.0276, 152.7688 Looking south back over the offset area. There is good natural regrowth occurring and infill plantings have been undertaken to increase species diversity. The dense ground cover shows the exclusion of cattle has been effective.	 A landscape photograph showing a grassy field with scattered trees and a cloudy sky. The foreground is filled with tall, green grass. In the middle ground, there are several trees of varying heights and densities. The background shows rolling hills under a blue sky with white clouds.

Location Details	Representative Photo
(4) -28.0285, 152.7679 Good regrowth of Koala and flying-fox habitats in this area.	 A photograph showing a forest landscape. In the foreground, there is a grassy slope with several tall, slender trees. The trees have green foliage and some have visible trunks. The background shows a continuation of the forest with more trees and a hazy sky. The overall scene depicts a healthy, regrowing forest habitat.

Location Details	Representative Photo
(5) -28.0321, 152.7715 Drainage area. Evidence of active control of Lantana and natural native regrowth was observed. This area is establishing well with secondary ecological functions like leaf litter and dense ground cover observed.	

Location Details	Representative Photo
(6) --28.0326, 152.7715 Showing the infill plantings and removal of lantana from this area.	